

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. SACRAMENTO DESIGN GROUP LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

GENERAL BUILDING NOTES

- SCOPE:**
- 1.01 THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
 - 1.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
 - 1.03 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
 - 1.04 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING BUILDING, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS

- 2.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24; UNIFORM BUILDING CODE; UNIFORM PLUMBING CODE; UNIFORM MECHANICAL CODE; NATIONAL ELECTRICAL CODE; AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- 2.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.

PERMITS, LICENSES, INSPECTIONS AND FEES

- 3.01 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

GUARANTEE

- 4.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

DATA AND MEASUREMENTS:

- 5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

- 5.02 DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.

- 5.03 DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.

- 5.04 ALL WALL DIMENSIONS ARE NOMINAL. FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- 6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

CLEAN UP AND START UP RESPONSIBILITIES

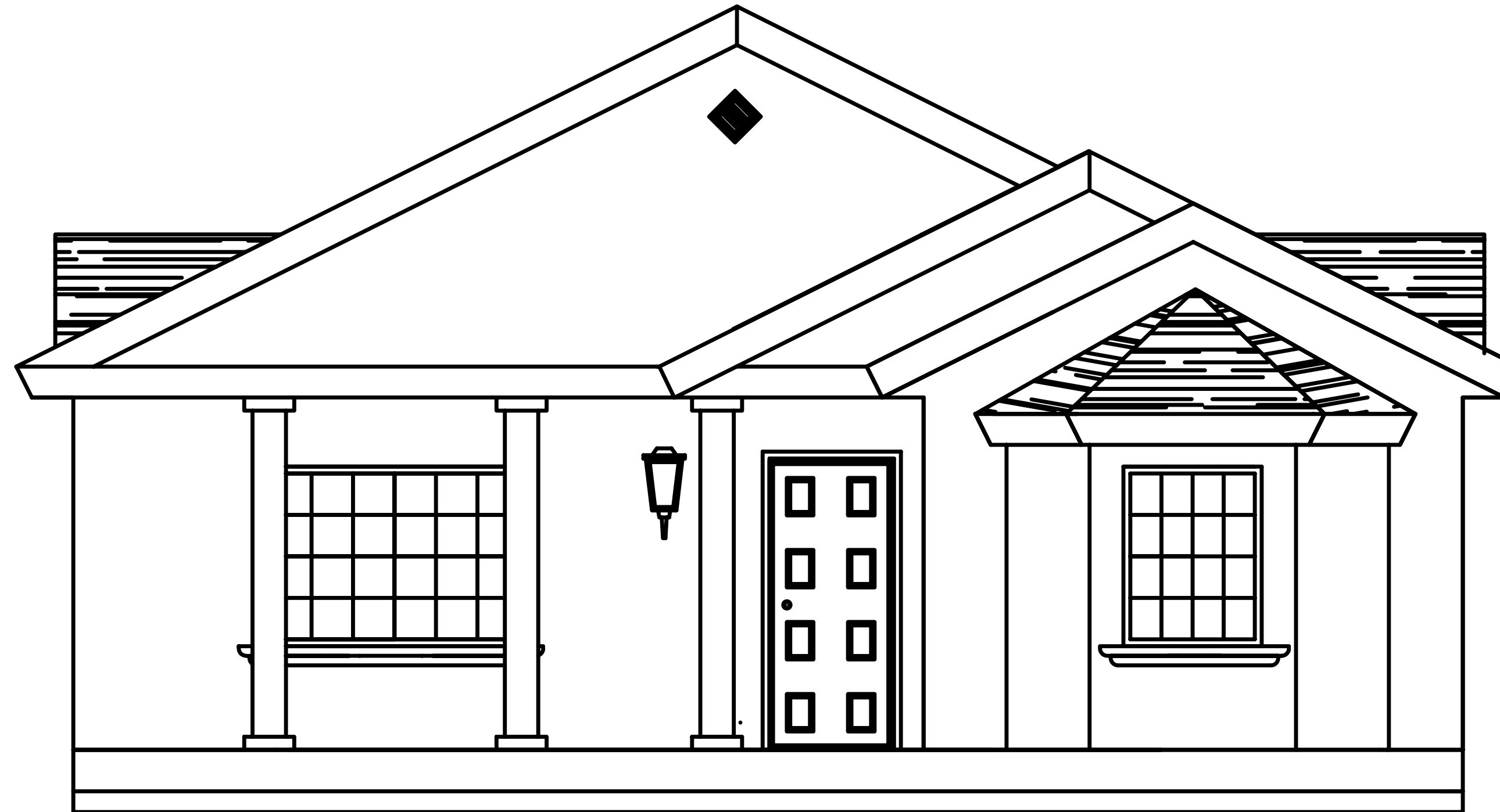
- 7.01 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.
- 7.02 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.

AREA OF WORK

- 10.01 THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/WALKWAYS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.

SACRAMENTO DESIGN GROUP

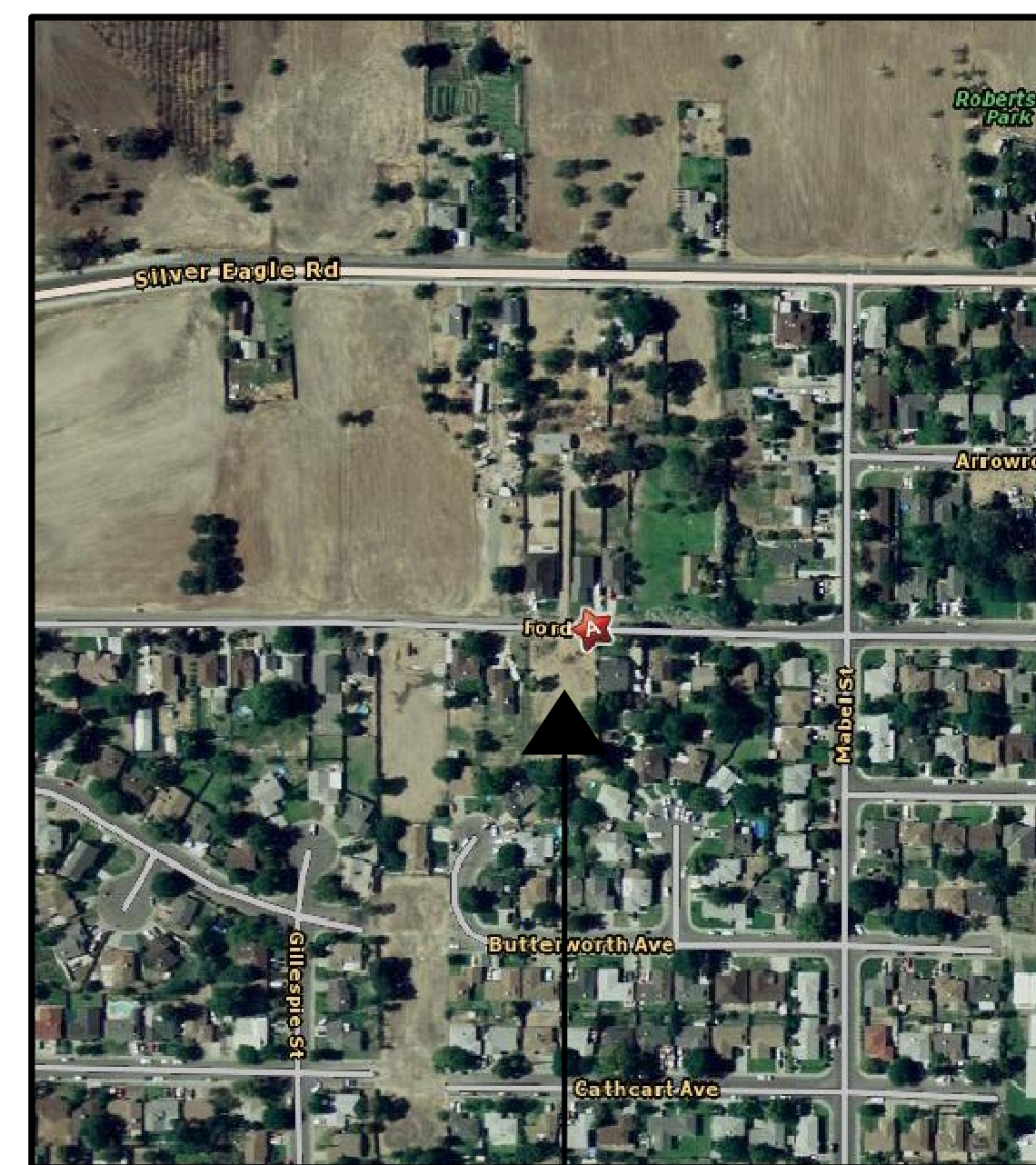
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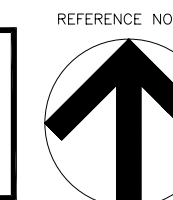
BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISH FLOOR	N	NORTH	T	TREAD
ADJ	ADJACENT	FIX	FIXTURE	O/	OVER	TEMP	TEMPERED
ALUM	ALUMINUM	FLUOR	FLUORESCENT	OC	ON CENTER	TOC	TOP OF CONCRETE
BM	BEAM	FP	FIRE PLACE	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED	TOG	TOP OF GRADE
BOU	BOTTOM OF WALL					TOF	TOP OF FLOOR
BLKG	BLOCKING	GA	GAUGE			TOP	TOP OF PAVEMENT
BRD	BOARD	GFCI	GROUND FAULT INTERRUPTOR	PB	PUSH BUTTON	TOG	TOP OF SLAB
CC	CENTER TO CENTER	GALV	GALVANIZED	PH	PHONE	TOW	TOP OF WALL
CL	CENTERLINE	GL	GLASS	PL	PLATE	TV	TELEVISION
CEM	CEMENT					TYP	TYPICAL
CER	CERAMIC	GYP	GYPSPUM	POC	POINT OF CONNECTION	UCR	UNDER COUNTER REFRIG.
CJ	CONTROL JOINT	H	HIGH OR HEIGHT	PT	PRESSURE TREATED		
CLG	CEILING	HB	HOSE BIBB	R	RIBSER	W	WEST
CLR	CLEAR	JTS	JOIST	REF	REFRIGERATOR	W/	WITH
						WC	WATER CLOSET
						WD	WOOD
CLO	CLOSET	LAV	LAVATORY	REINF	REINFORCED	WH	WATER HEATER
CO	CLEANOUT	LB	FOUND	RM	ROOM	WP	WATER PROOF
CONC	CONCRETE	LIN	LINEN	RUD	REDWOOD	WUM	WELDED WIRE MESH
CONTN	CONTINUOUS	LT	LIGHT	S	SOUTH		
DBL	DOUBLE	MANF	MANUFACTURER	SB	SET BACK		
DF	DOUGLAS FIR	MAX	MAXIMUM	SF	SQUARE FOOT		
DI	DRAIN INLET	MC	MEDICINE CABINET	SHTKG	SHEATHING		
DIA	DIAMETER	MIN	MINIMUM	SHUR	SHOWER		
DR	DOOR	MTL	METAL	SIM	SIMILAR		
DW	DISH WASHER			SIMP	'SIMPSON'		
E	EAST			SLD	SLIDING		
EL	ELEVATION			S4P	SHELF 4 POLE		
EQ	EQUAL			STRUCT	STRUCTURAL		

PROJECT VICINITY MAP



PROJECT LOCATION: APN: 250-0281-038
 120 FORD ROAD
 SACRAMENTO, CA 95838



SHEET INDEX

Sheet Number	Sheet Title
C.0	COVER SHEET
C.1	SITE PLAN
A.1	FLOOR PLAN
A.2	ROOF PLAN
A.3	FOUNDATION PLAN
A.4	ELEVATION PLAN
E.1	ELECTRICAL PLAN

PROJECT DATA

APPLICABLE BUILDING CODE:	2007 CBC, CMC, CPC, CVC AND CEC 2006 IBC, UMC, UPC AND NEC ASCE 7-05 2005 TITLE 24
OCCUPANCY GROUP:	R-3 (DWELLING) U (STORAGE)
CONSTRUCTION TYPE:	TYPE-V SINGLE STORY NOT FIRE-SPRINKLED
PROJECT SCOPE:	NEW CUSTOM HOME

BUILDING AREA

	EXISTING	PROPOSED	NET CHANGE
GARAGE	0 S.F.	576 S.F.	576 S.F.
TOTAL UNCONDITIONED FLOOR AREA:		576 S.F.	576 S.F.
LEVEL-1	0 S.F.	2080 S.F.	2080 S.F.
TOTAL CONDITIONED FLOOR AREA:		2080 S.F.	2080 S.F.
TOTAL BUILDING AREA UNDER ROOF:		2656 S.F.	

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APN: 250-0281-038
 Project Owner:
 120 FORD ROAD
 SACRAMENTO, CA 95838
 TEL:
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TITLES:

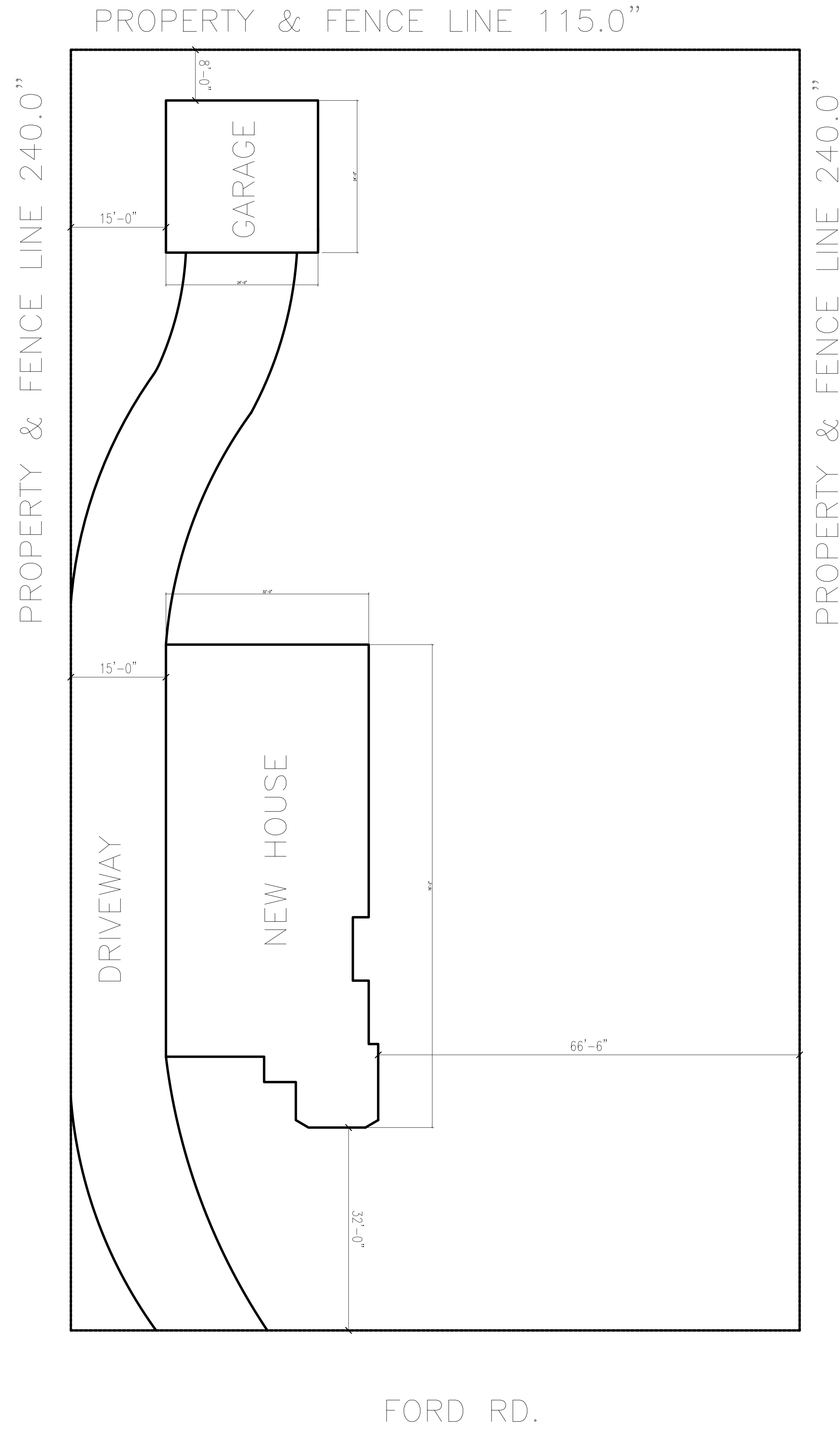
COVER SHEET

CONST MODIFICATION 02
 CONST MODIFICATION 01
 APPROVED PERMIT SET
 PLAN CHECK PC03
 PLAN CHECK PC02
 PLAN CHECK PC01
 CONSTRUCTION DOCUMENTS 2009.09.01
 DESIGN DEVELOPMENT
 SCHEMATIC DESIGN

SHEET:



SHEET: 1 OF 7 SHEETS



REVISIONS	BY

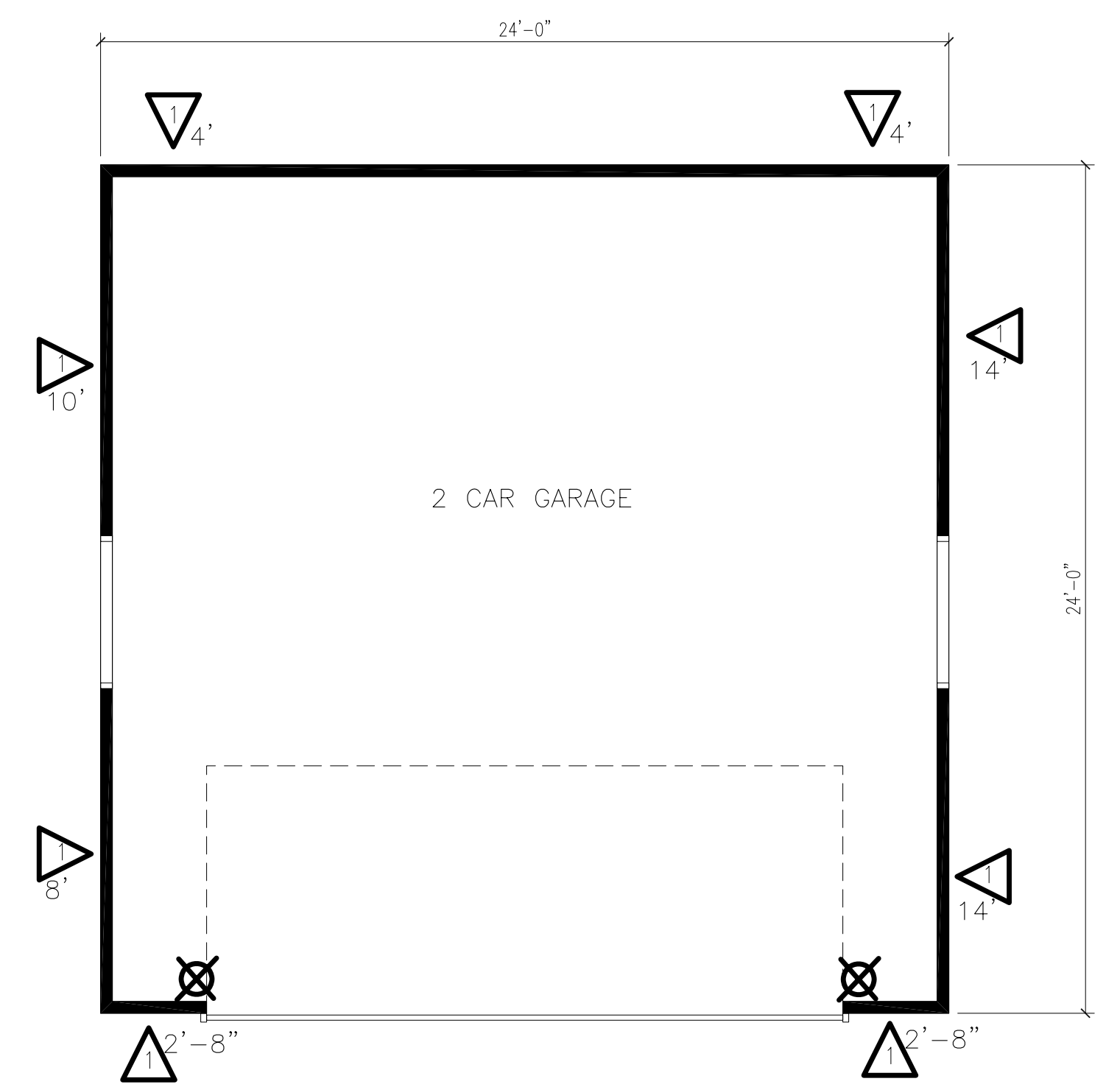
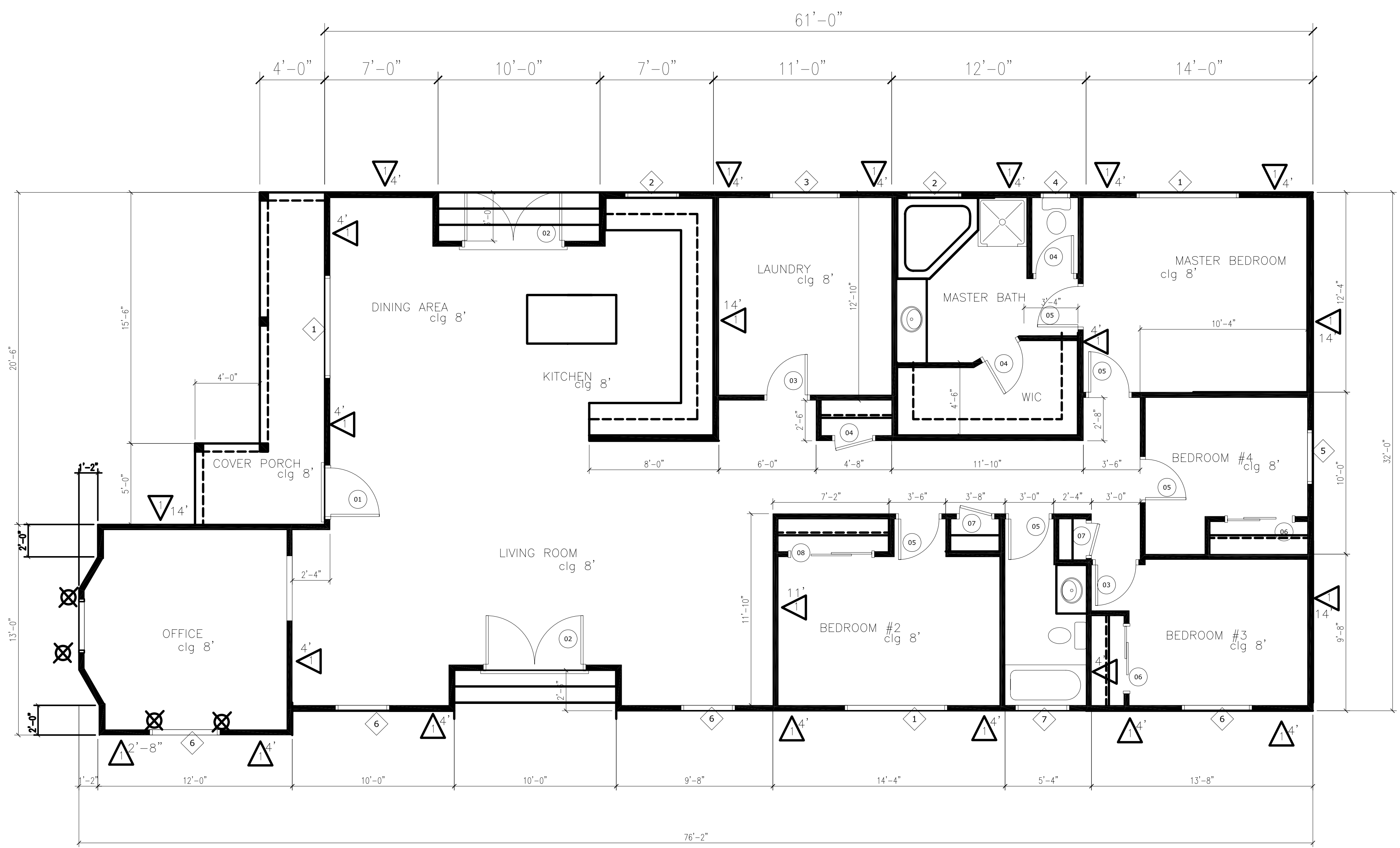
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PROPOSED PROJECT: NEW HOUSE
120 FORD RD
SACRAMENTO, CA 95838
SITE PLAN

DATE: 11-24-2008
SCALE: 3/32"=1'-0"
DRAWN: DS
JOB NO: 07015008
SHEET NO:

C.1

REVISIONS	BY



1. ALL PLUMBING PENETRATIONS THROUGH FIRE RATED WALL SHALL BE METALLIC EXTENDING A MINIMUM OF 12" FROM WALL (INCLUDING TRAP WHERE APPLICABLE) AND SHALL BE SEALED SO THAT HOT GASES CANNOT PASS THROUGH.

2. WATER HEATER
 a. SHALL BE INSTALLED SO THAT THE SOURCE OF IGHITON IS AT LEAST 18" ABOVE THE GARAGE FLOOR.
 b. SHALL BE STRAPPED AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. LOWER POINT SHALL BE MINIMUM 4" ABOVE CONTROLS PER 2001 CBC 510.5

3. ELECTRICAL
 EVERY NEW GROUP R-3 OCCUPANCY BUILDING SHALL PROVIDE FROM A FUTURE ELECTRIC VEHICLE CHARGING CIRCUIT BY PROVIDING A THREE- QUARTER INCH RACEWAY FROM THE SERVICE PANEL TO A 2- GANG BOX LOCATED IN THE GARAGE IN A LOCATION ACCEPTABLE TO THE CHIEF BUILDING OFFICIAL, CITY OF SACRAMENTO CODE, CHAPTER 15.32.400

DOOR AND FRAME SCHEDULE

Quantity	MARK	DOOR SIZE	
		WD	HGT
1	1	3'-0"	6'-8"
2	2	6'-0"	6'-8"
2	3	2'-6"	6'-8"
3	4	2'-4"	6'-8"
5	5	2'-6"	6'-8"
2	6	4'-0"	6'-8"
2	7	2'-0"	6'-8"
1	8	5'-0"	6'-8"

WINDOW SCHEDULE

Quantity	MARK	SIZE	
		WIDTH	HEIGHT
3	1	6'-0"	4'-0"
2	2	3'-0"	3'-0"
1	3	4'-0"	3'-0"
1	4	1'-8"	3'-0"
1	5	3'-0"	4'-0"
2	6	3'-0"	4'-0"
2	6	4'-0"	4'-0"
1	7	3'-0"	1'-0"

BRACEWALL SCHEDULE

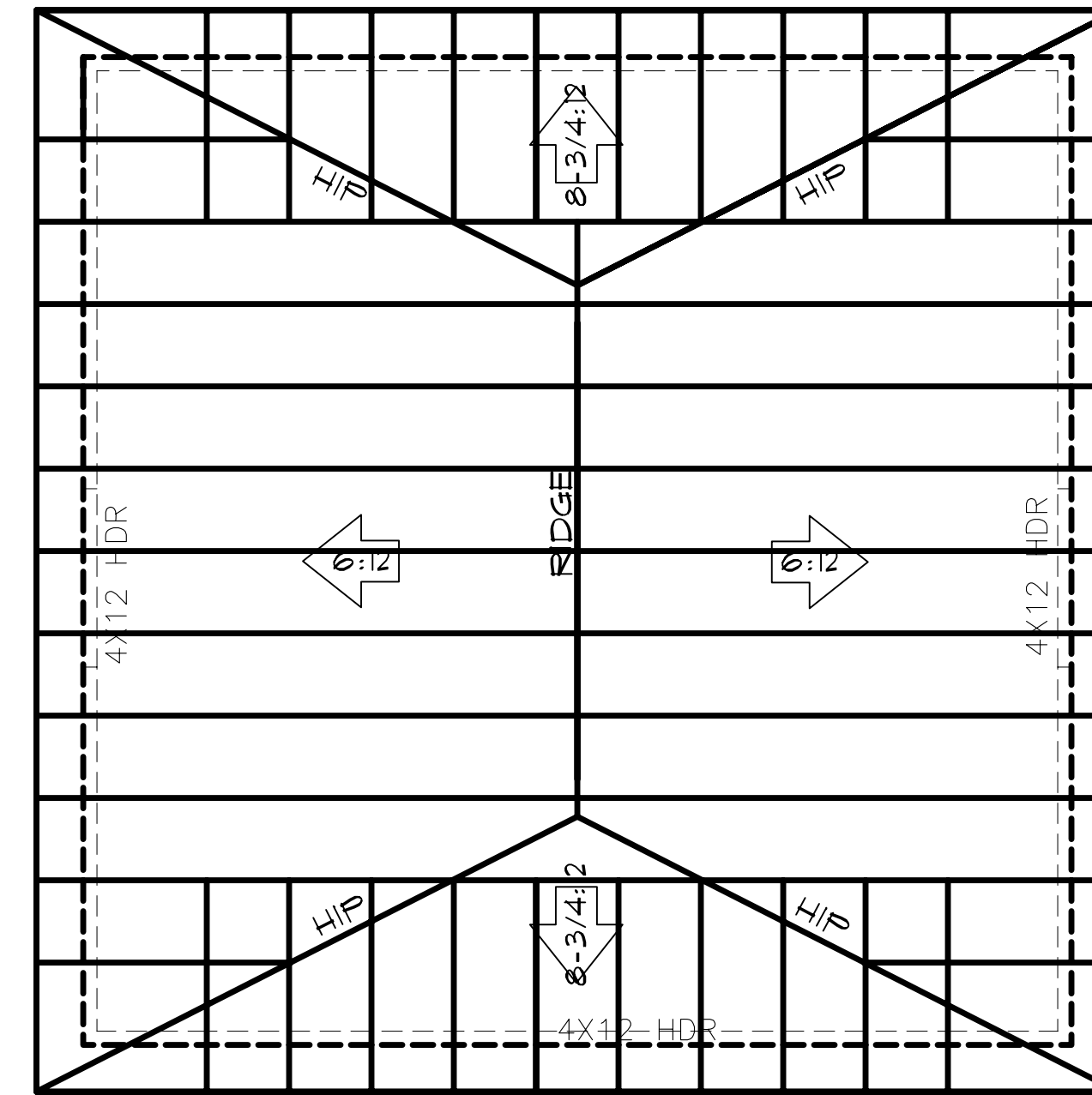
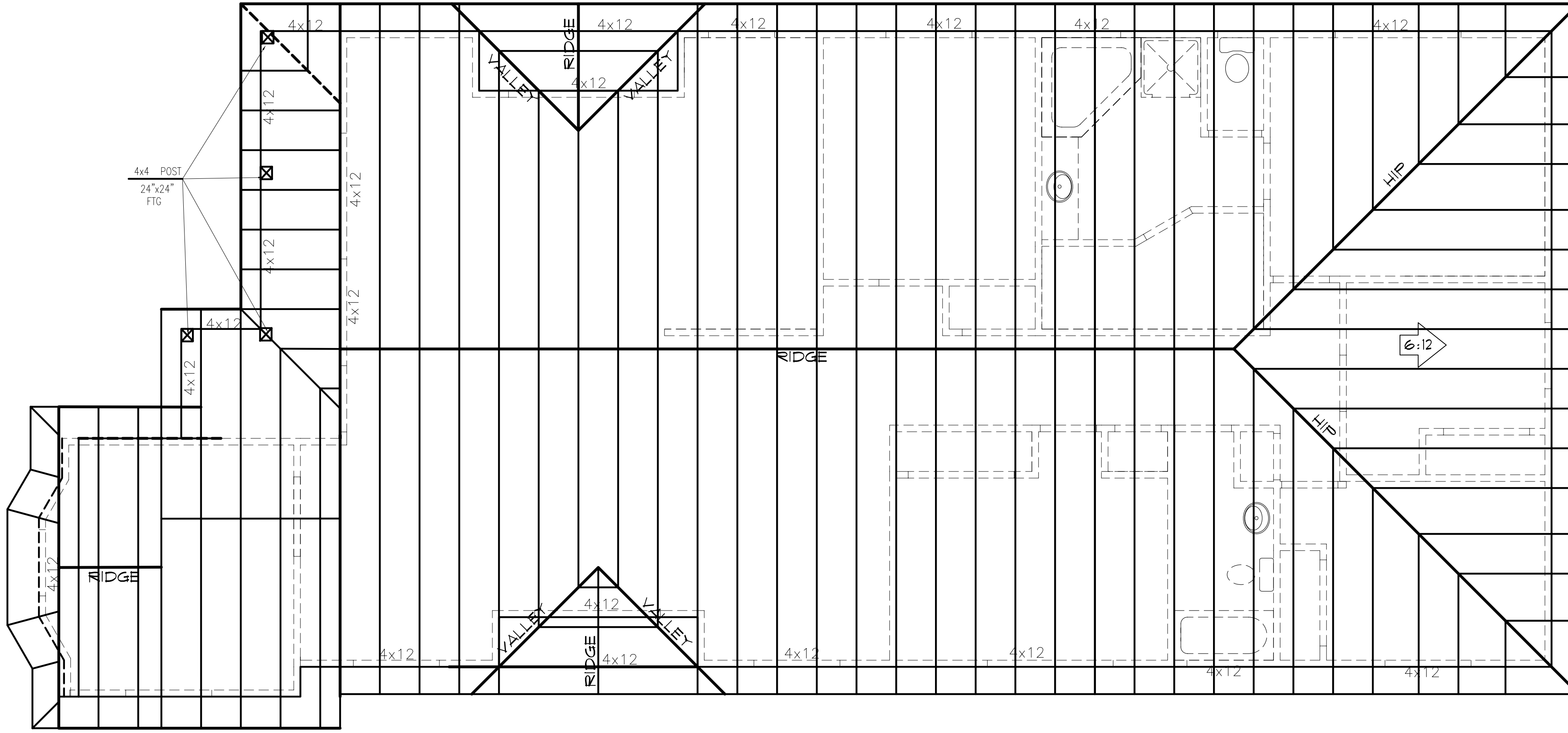
MARK	SHEATING	NAILING	ANCHOR BOLTS	SHEAR TRANSFER
1	3/ 8" CD-X PLYWD.	8d @ 6" O.C. E.N. AND 12" O.C. F.N.	1/ 2 DIA. x 10" A.B. @ 48" O.C.	A36 CLIPS @24" O.C.

1' = INDICATES MIN. LENGTH OF SHEAR WALL REQUIRED.
 X = INDICATES SIMPSON PHD HOLDDOWN AT DBL. 2x WITH FULL HEIGHT EDGE NAILING. NUMBER DENOTES SIZE. SSTB ANCHORS TO BE USED IN ACCORDANCE WITH SIMPSON SPECIFICATIONS FOR DOUBLE POUR FOUNDATIONS.
 NOTE: WHERE PLYWOOD IS APPLIED BOTH FACES OF WALL, PROVIDE 3x STUDS AT EDGES AND REDUCE SPACING OF SHEAR TRANSFER CLIPS AND ANCHOR BOLTS BY ONE-HALF THE DISTANCE INCATED IN TABLE.
 ALL NAILS SHALL BE COMMON WIRE NAILS, OR HOT DIPPED GALVANIZED BOX NAILS
 WHERE EDGE NAIL SPACING IS 2" OR 3" O.C. PROVIDE 3x STUDS AT PANEL EDGES, AND 3x MINIMUM SILL PLATES.
 ALL ANCHOR BOLTS SHALL UTILIZE 3"x3"x 3/16 " PLATE WASHERS
 AT ALL SHEAR TRANSFER NAILING FROM UPPER LEVEL SHEAR WALL SOLE PLATE TO FRAMING BELOW, PROVIDE 16d's AT RESPECTIVE SPACING.

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PROPOSED PROJECT: NEW HOUSE
 120 FORD RD
 SACRAMENTO, CA 95838
 FLOOR PLAN

DATE 11-24-2008
 SCALE 1/4=1'-0"
 DRAWN DS
 JOB NO. 07015008
 SHEET NO. **A.1**



ROOF FRAMING NOTES:

1. ROOF FRAMING SYSTEM IS PREMANUFACTURED ROOF TRUSS SYSTEM.
2. THIS DRAWING IS FOR REFERENCE ONLY.
3. SEE TRUSS MANUFACTURERS CALCULATIONS AND DRAWINGS FOR TRUSS LAYOUT.

REVISIONS	BY

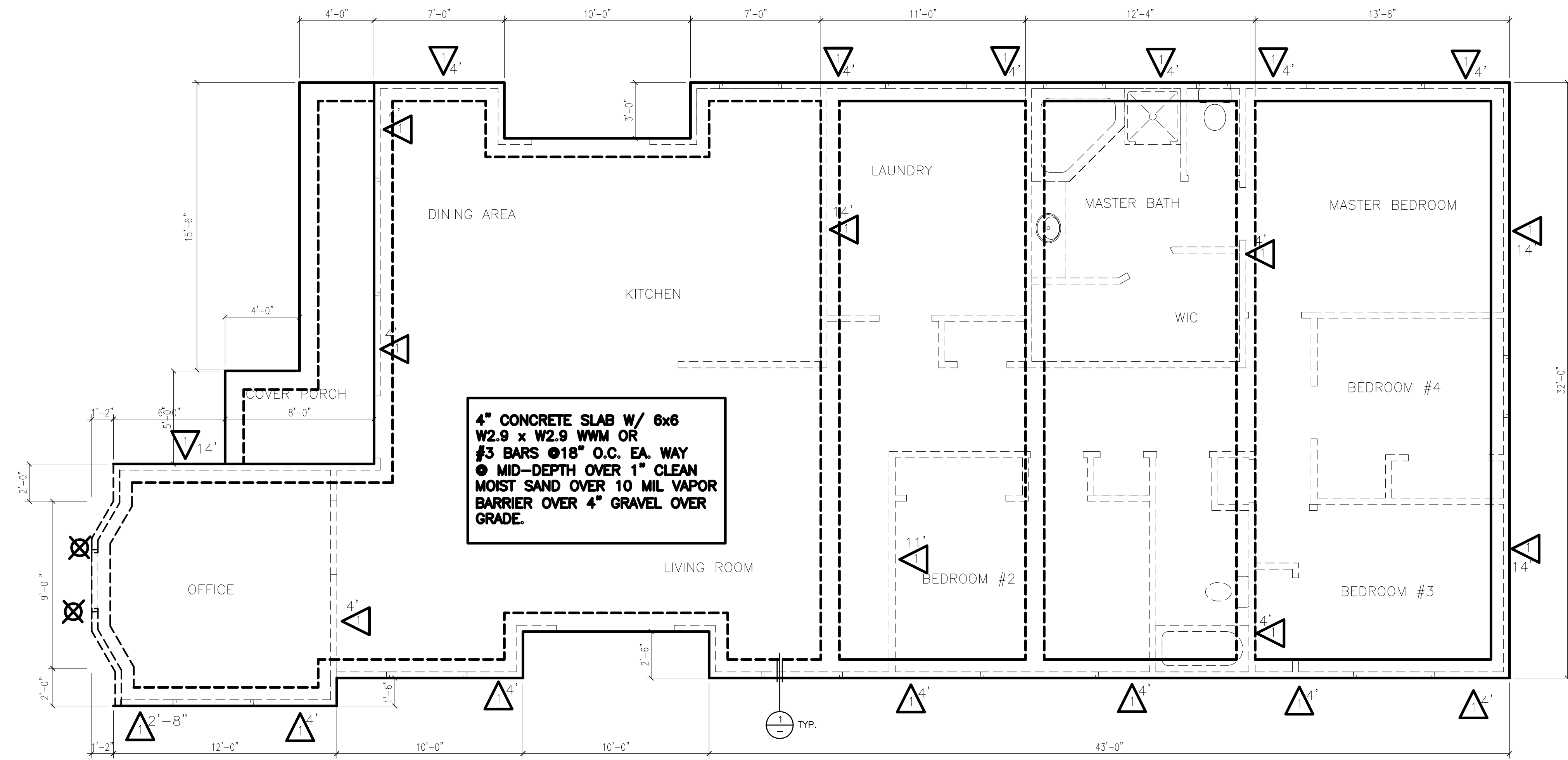
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 120 FORD RD
 SACRAMENTO, CA 95838
ROOF PLAN

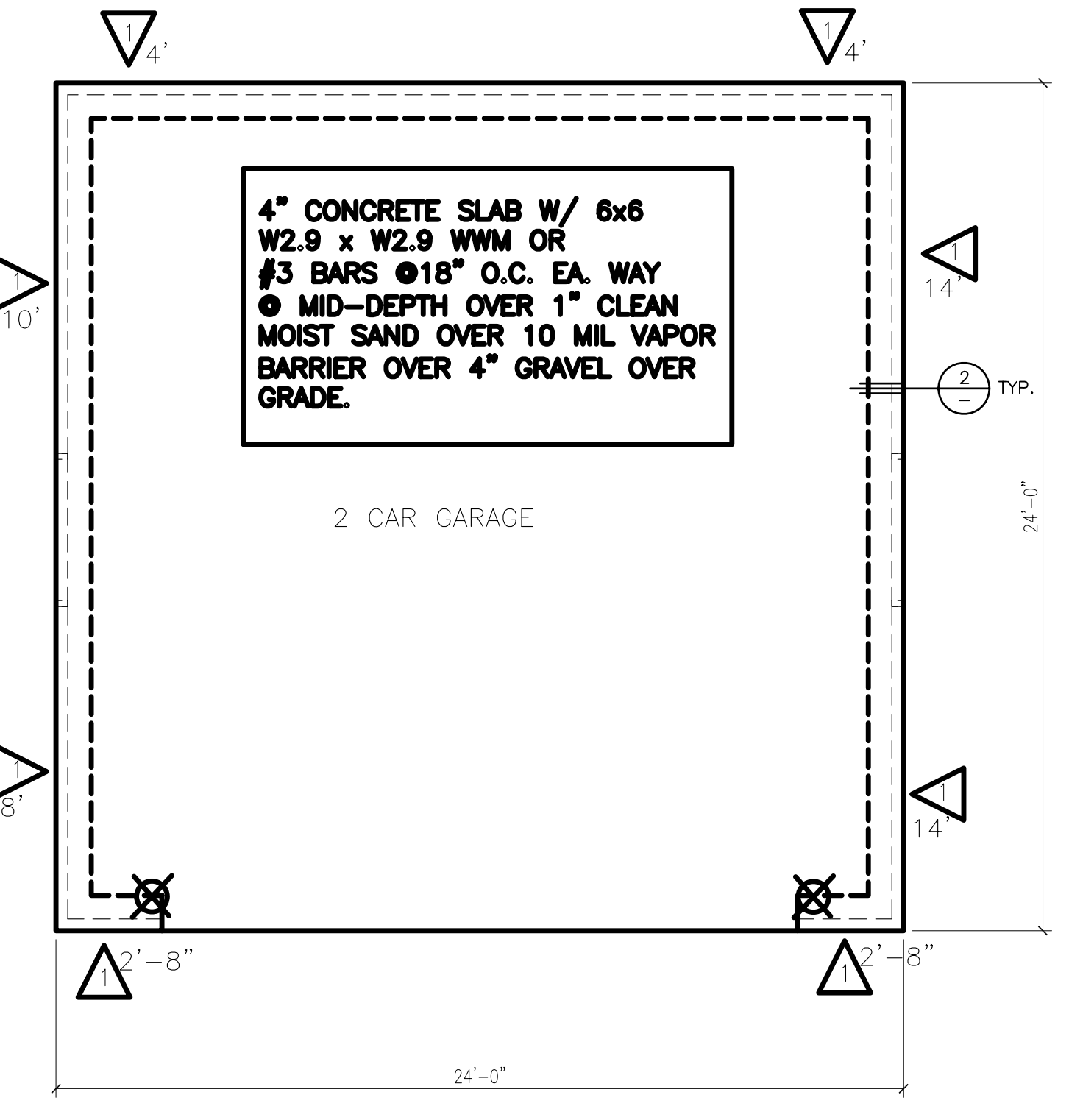
DATE 11-24-2008
 SCALE 1/4"=1'-0"
 DRAWN DS
 JOB NO. 07015008
 SHEET NO.

A.2

REVISIONS	BY



4" CONCRETE SLAB W/ 6x6 W2.9 x W2.9 WWM OR #3 BARS @18" O.C. EA. WAY @ MID-DEPTH OVER 1" CLEAN MOIST SAND OVER 10 MIL VAPOR BARRIER OVER 4" GRAVEL OVER GRADE.



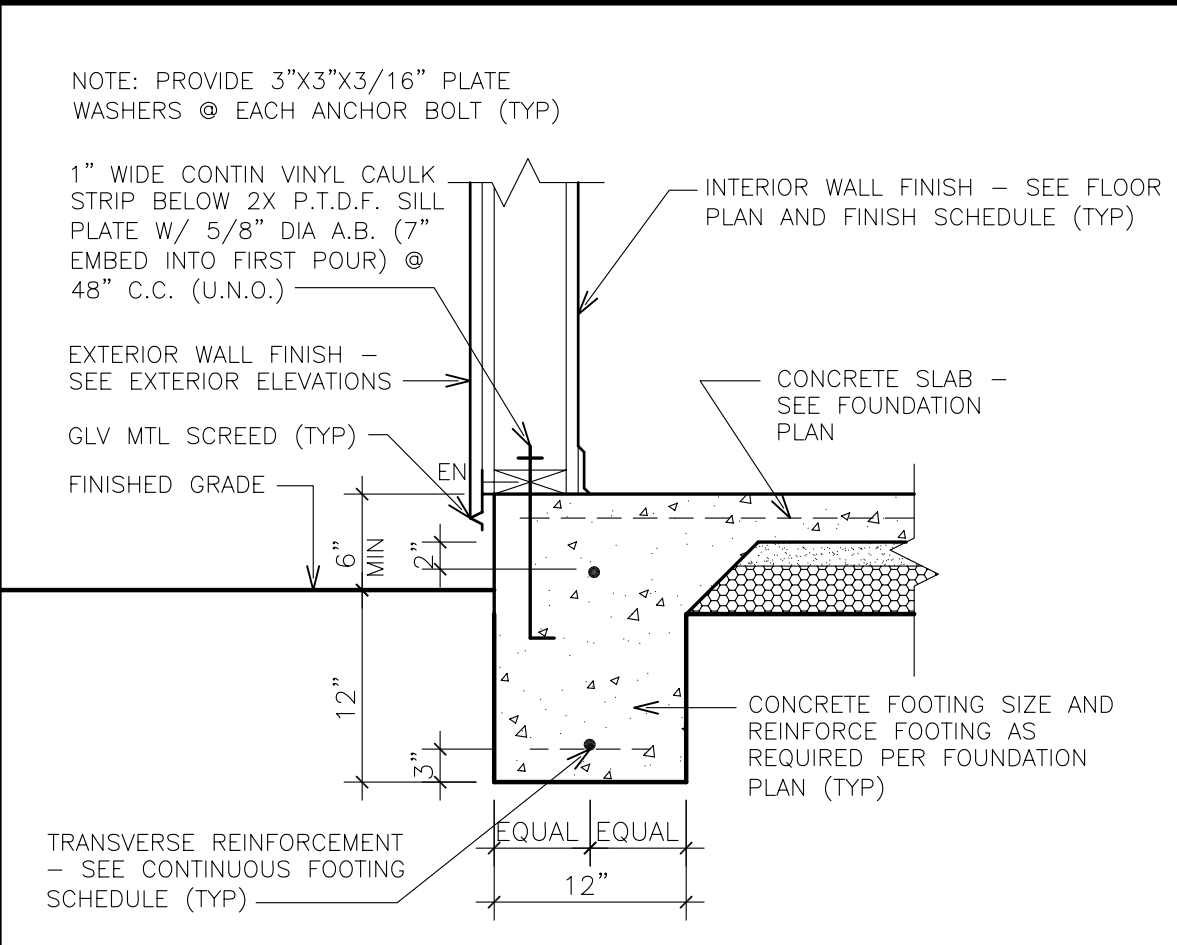
4" CONCRETE SLAB W/ 6x6 W2.9 x W2.9 WWM OR #3 BARS @18" O.C. EA. WAY @ MID-DEPTH OVER 1" CLEAN MOIST SAND OVER 10 MIL VAPOR BARRIER OVER 4" GRAVEL OVER GRADE.

ANCHOR BOLTS
 3/4" ANCHOR BOLTS @48" O.C. @ SINGLE STORY & PER SHEAR WALL SCHEDULE.(U.N.O.)
 SIMPSON MAS MUDSILL ANCHORS MAY BE USED IN LIEU OF ANCHOR BOLTS @ ALL LOCATIONS EXCEPT SHEAR WALLS.
 AS A REPAIR FOR MISSING ANCHOR BOLTS, 3/4" THREADED ROD ANCHORS MAY BE USED. THE ANCHOR SHALL BE EMBEDDED A MIN. 7" INTO THE CONCRETE & PLACED A MIN. 1 1/2" FROM THE EDGE. THE ANCHOR SHALL BE FASTENED TO THE CONCRETE W/ SIMPSON EPOXY-TIE ADHESIVE & INSTALLED IN ACCORDANCE W/MANUFACTURER'S RECOMMENDATIONS.
 3/8" DIA. REDHEAD EXPANDING ANCHOR BOLTS MAY BE USED AS A REPAIR FOR MISSING MAS ANCHOR BOLTS OR 3/8" DIA. ANCHOR BOLTS AT ALL LOCATIONS EXCEPT FOR SHEAR WALLS.
 FOUNDATION SILL SHALL BE BOLTED TO THE FOUNDATION OR FOUNDATION WALL @ ALL HOUSE & GARAGE PERIMETER FOUNDATIONS.
 SHEAR WALL SILL PLATES SHALL BE BOLTED TO THE FOUNDATION.
 ALL ANCHOR BOLTS SHALL HAVE 3"x3"x .029" PLATE WASHERS.
 FOUNDATION SILL @ INTERIOR WALLS MAY USE SHOT-PINS FOR CONNECTION TO THE SLAB. BOLTED BRACED WALL PANEL SILL PLATES SHALL HAVE A MIN. OF 2 BOLTS PER PANEL W/1 BOLT LOCATED WITHIN 12" OF EA. END

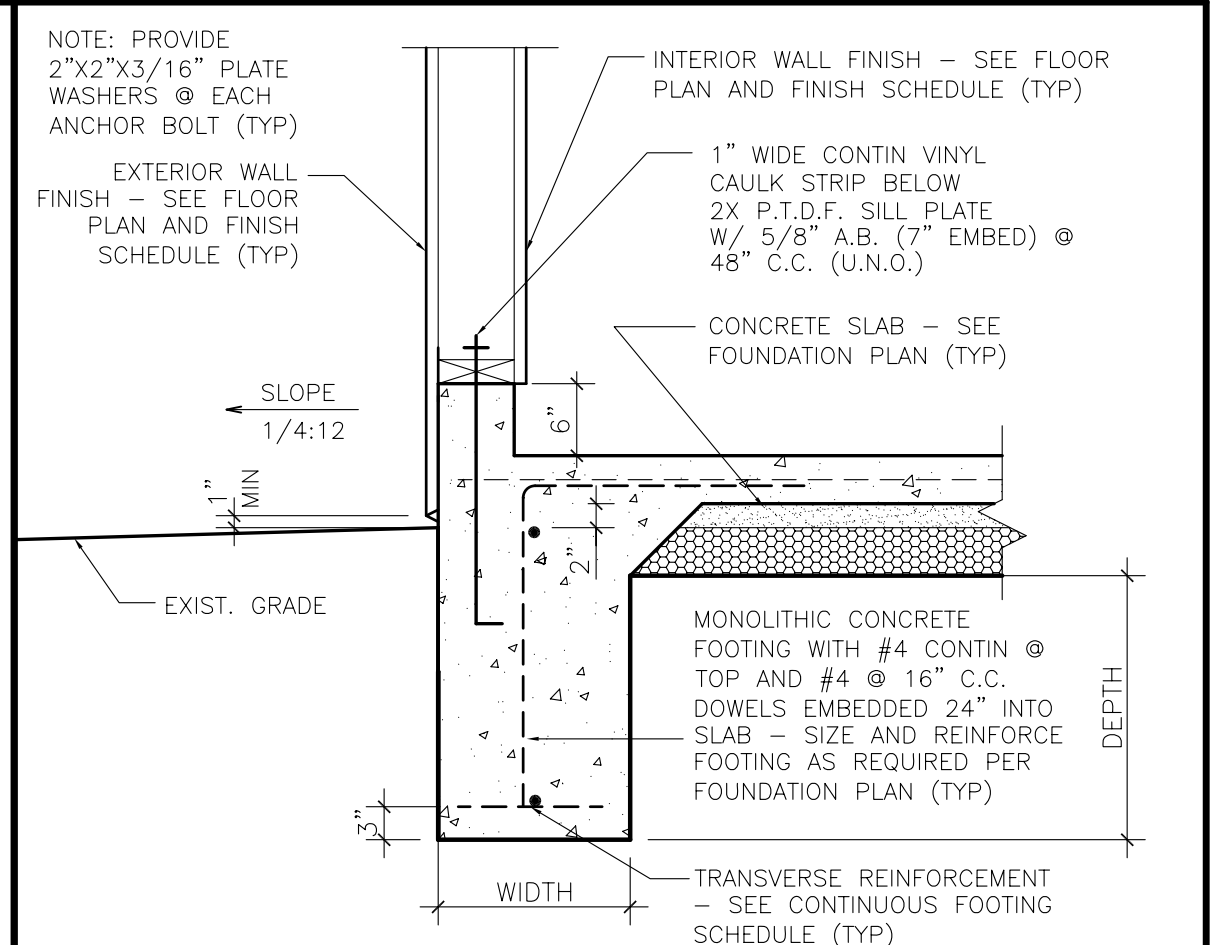
GENERAL NOTES
 VERIFY ALL FLAT WORK WITH DEVELOPER PRIOR TO INSTALLATION.

HOLDOWN LOCATION
 HOLDOWN LOCATIONS SHOWN ON THE FOUNDATION PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION BASED ON THE LENGTH OF SHEAR WALLS, THE TYPE OF HOLDOWNS & THE MANUFACTURER'S SPECIFICATIONS.
 HOLDOWNS @ INTERIOR SHEAR WALL (WHERE OCCURS)
 WHERE HOLDOWN ANCHOR BOLTS REQUIRE DEPT GREATER THAN DEPTH OF CONTINUOUS FOOTING, PROVIDE 12"x12" DEPTH REQ'D. + 3" CLEAR PAD FOOTING.

SHOT-PINS
 SHOT-PINS: 0.145" DIA.x 2 1/2" LONG(HILTI ZF 62 P8S36 SHOT/PINS COMBO & ICC ER# 1290 OR EQUAL). EXCEPT FOR SHEAR WALLS, INTERIOR WALLS MAY BE CONNECTED TO THE SLAB WITH SHOT-PINS. THE SPACING SHALL BE AS FOLLOWS.
 SPACING:
 NON-BEARING WALL: 48" O.C.
 BEARING WALL: 16" O.C.



EXTERIOR FLAT SLAB FOOTING DETAIL SCALE: N.T.S. **1**



INTERIOR FLAT SLAB FOOTING @ GRADE DETAIL SCALE: N.T.S. **2**

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 120 FORD RD
 SACRAMENTO, CA 95838
FOUNDATION PLAN

DATE: 11-24-2008
 SCALE: 3/32=1'-0"
 DRAWN: DS
 JOB NO: 07015008
 SHEET NO:
A.3

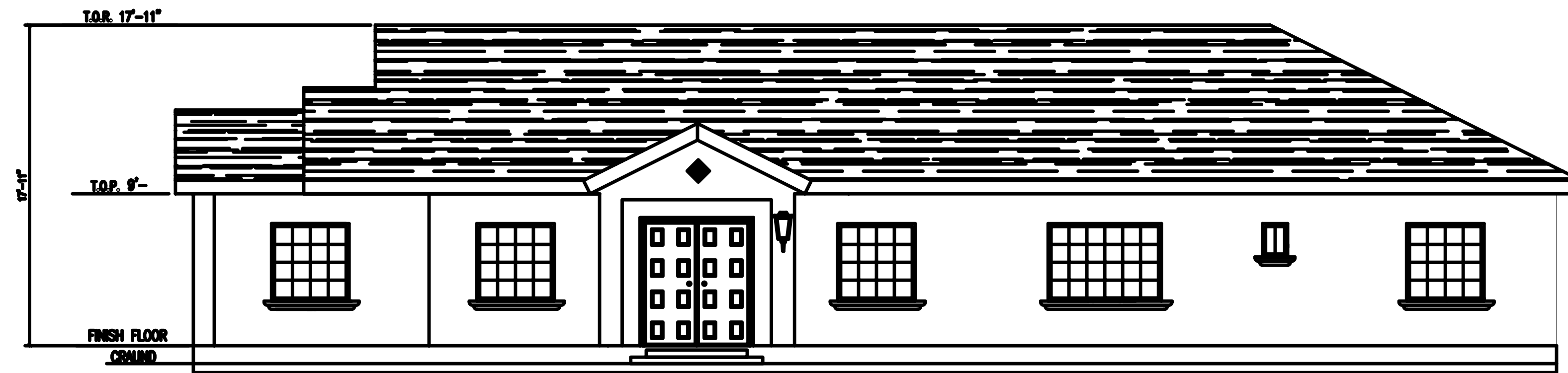
VENT. REQUIREMENTS

Ventilation shall not be less than 1/150 area of the space ventilated or 1/300 when 50% of required ventilating area is provided by ventilator located in the upper portion of the space to be ventilated at least three feet above eave vents.

Eave vents shall be 4"x22" w/insect screen at each third rafter. Install roof dormer vents per plan. Gable vents per plan

Exterior elevation notes:

1. Roofing
 - a. 30 yrs dim. lam. comp.
 - b. G.I. w/30# felt
2. Plwd over exposed area to be cc plugged or exposure
3. Gutter 7" bonderized ribbed
4. Galv iron cricket.
5. Stucco install per ubc sec2505 2506, 2508 and 2509
 Note: when lath is applied over wood base include 2 layers of grade paper "d" paper over wood or osb provide thermal barrier between 1" foam & attic interior per icbo #3899 &/or ubc 2602
 - a. 3-coat 7/8 thick over icbo# 3899
 - b. 45° stucco shed roof icbp# 3899
7. Stucco form trim plant- on w/ sand finish
9. Dead bolt locks are req'd @ main entry and rear entry and fire door.
10. Dwelling address location to be plainly visible and legible from the street.
11. 30 yrs dim. lam. comp.
13. Stucco contractor to float foundation wall to within 6" b and parallel to finish grade.
14. Stucco contractor to provide and install screed and square corner bead.
15. All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface.
19. Flash all exterior openings
20. Stucco form column over rough frame



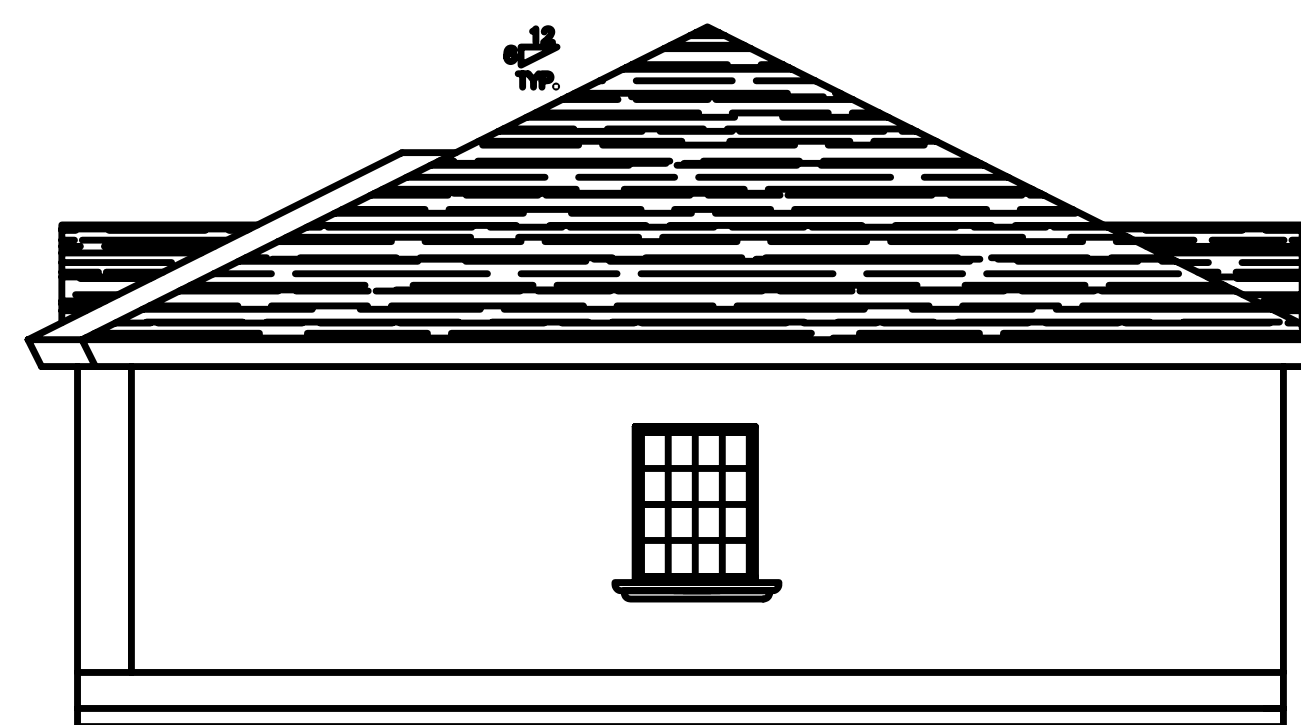
right elevation



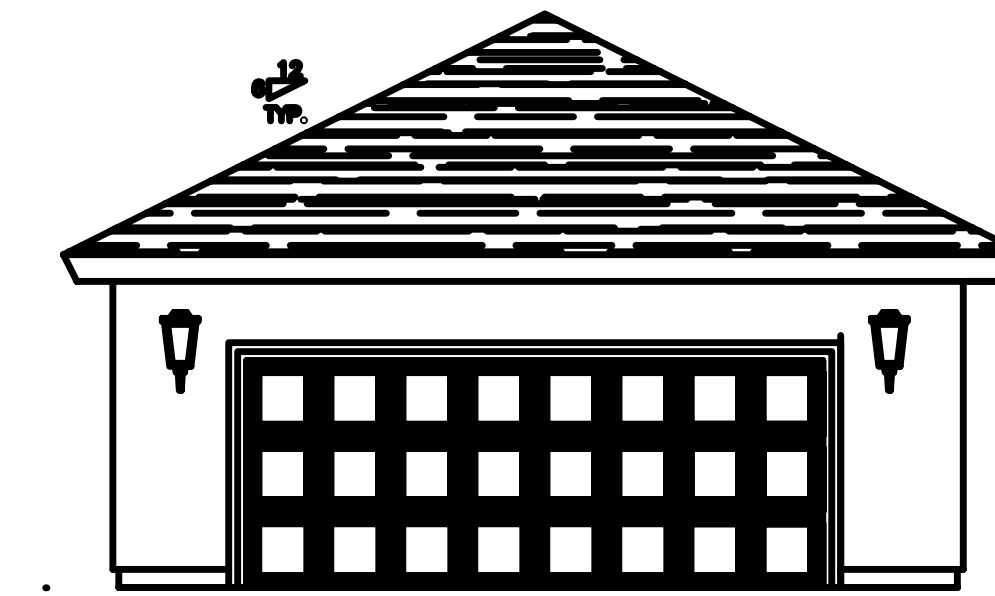
left elevation



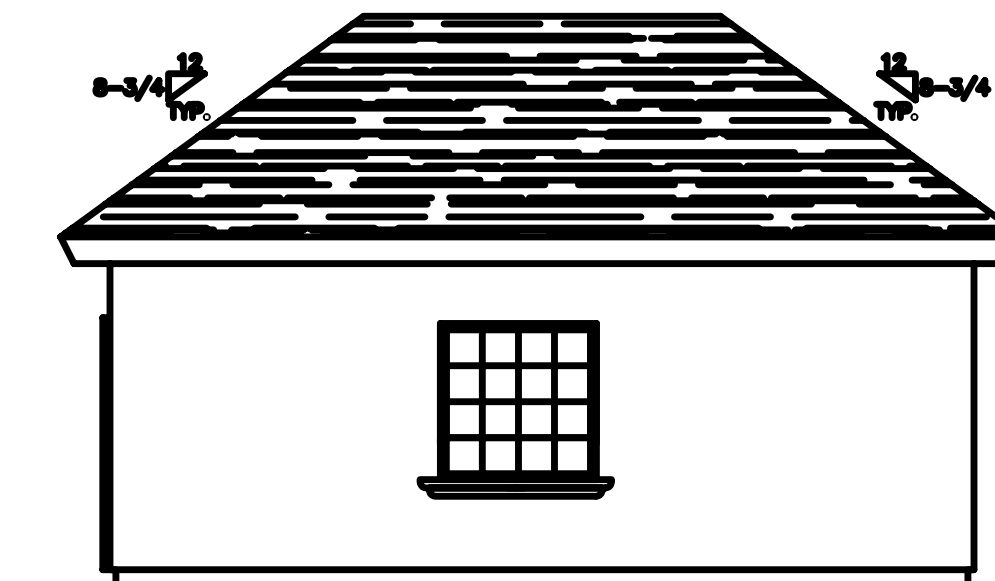
front elevation



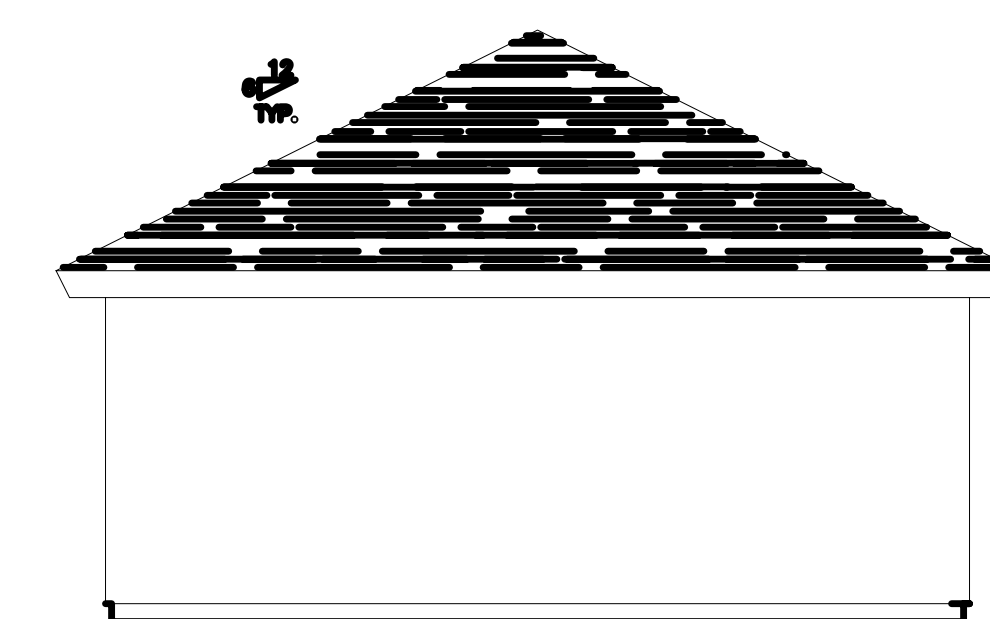
rear elevation



garage elevation -front



garage elevation -left and right



garage elevation -rear

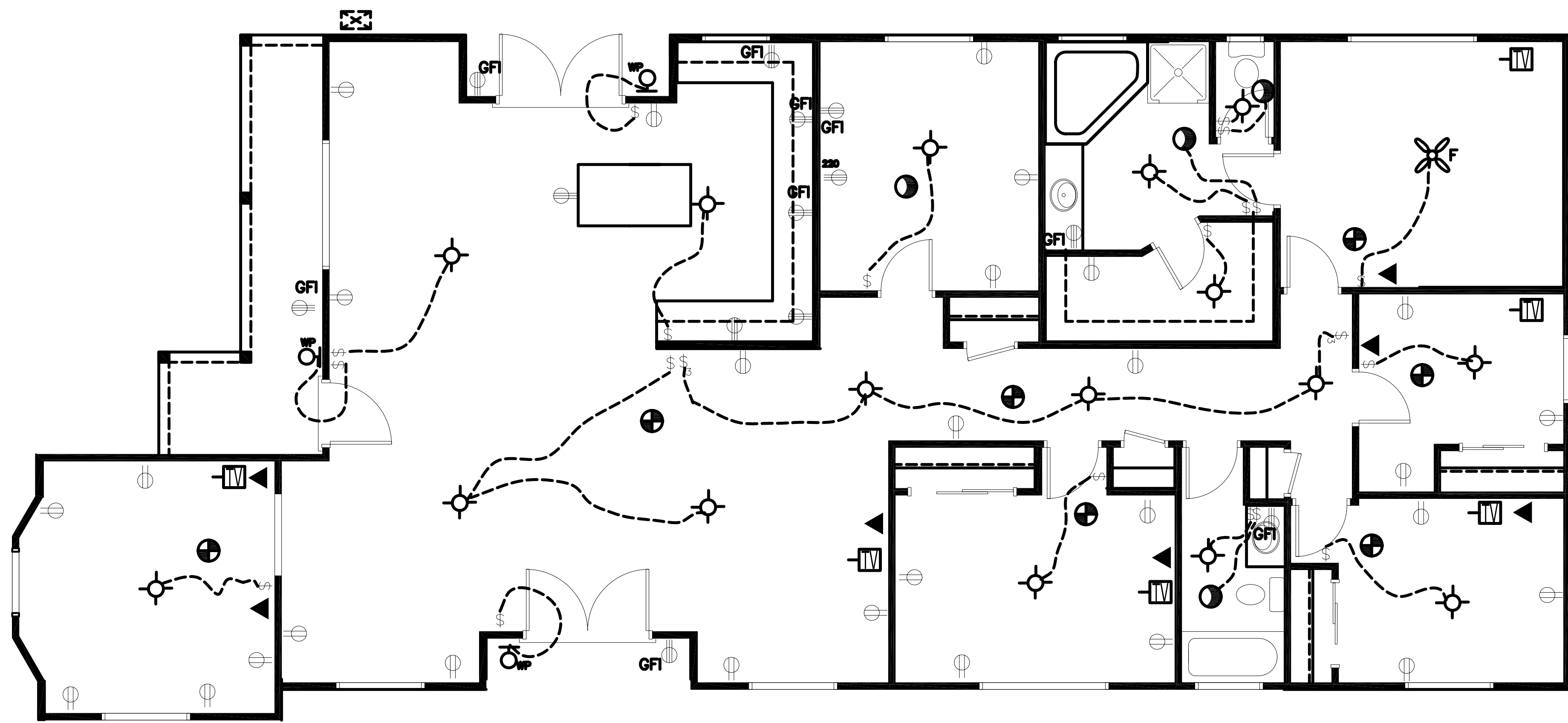
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 110 L St., Suite 950, Sacramento, CA 95814-3361
 www.SacramentoDesignGroup.com

PROPOSED PROJECT: NEW HOUSE
 120 FORD RD
 SACRAMENTO, CA 95838
 elevation

DATE 11-24-2008
 SCALE 3/16=1'-0"
 DRAWN DS
 JOB NO. 07015008
 SHEET NO.

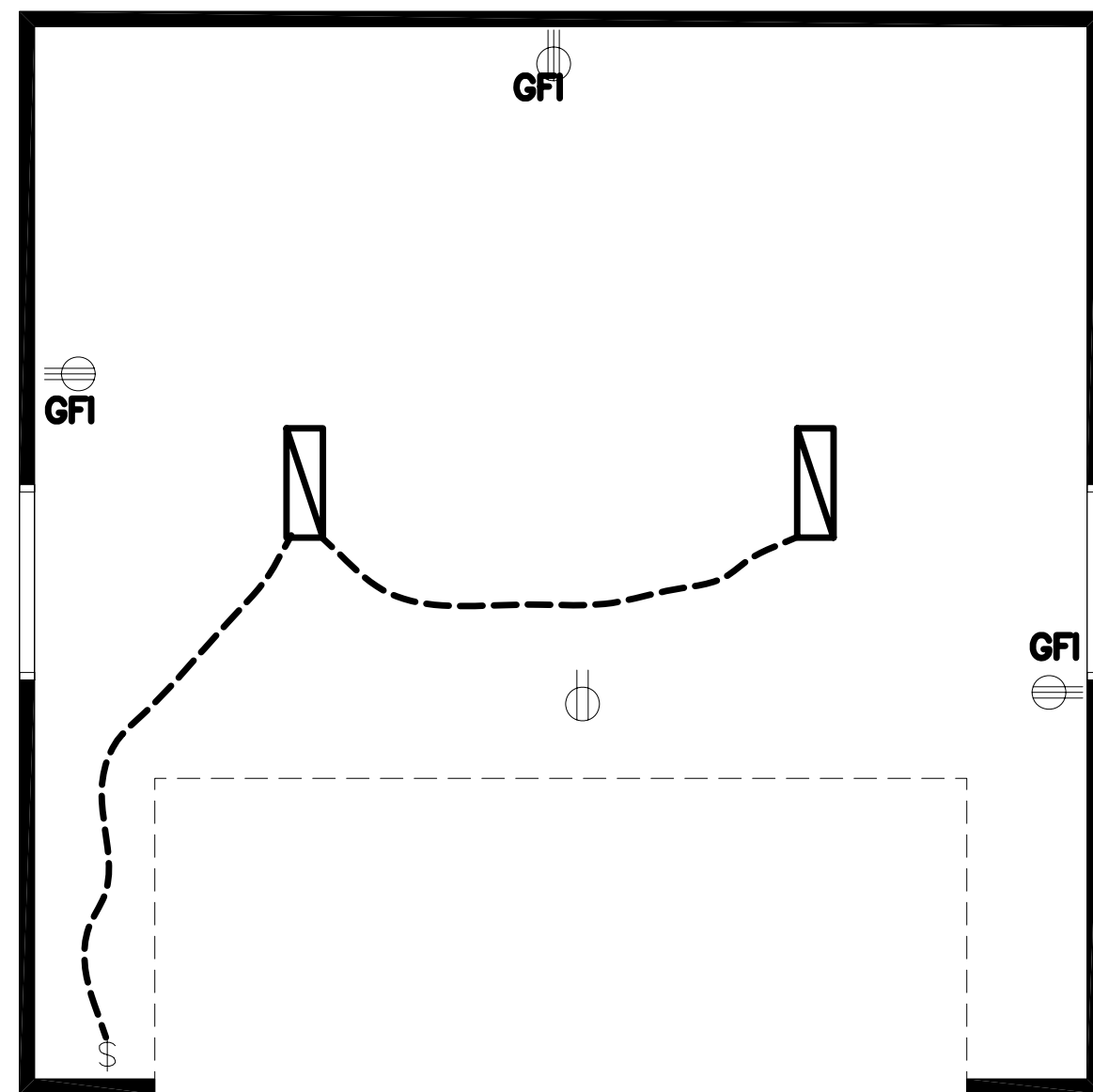
A.4



Ⓢ	WALL SWITCH
Ⓢ	THREE WAY SWITCH
●	FAN
⊖	DUPLEX OUTLET
⊖	220 WATT DUPLEX OUTLET
GFI ⊖	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET
⊙	CEILING MOUNTED INCANDESCENT LIGHT
⊙ F	CEILING MOUNTED FAN
⊙	CEILING MOUNTED FLUORESCENT LIGHT
⊖	WALL SCONCE
⊖	WEATHERPROOF
⊖	2 x 4 CEILING MOUNTED FLUORESCENT LIGHT
⊕	SMOKE DETECTOR
⊖	TELEVISION
⊖	TELEPHONE
⊖	CIRCUIT BREAKER PANEL

LIGHTING MEASURES:

- 150(K)2. LUMINARIES FOR NOT LESS THAN 50% OF THE TOTAL WATTAGE IN KITCHENS SHALL HAVE LAMPS WITH AN EFFICACY OF 40-60 LUMENS/WATT PER TABLE 150-C. THIS GENERAL LIGHTING SHALL BE CONTROLLED AND SWITCHED SEPARATELY FROM ANY OTHER DECORATIVE LOW EFFICACY LIGHTING.
- 150(K)3 BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOM SHALL HAVE LUMINARIES WITH LAMPS WITH AN EFFICACY OF 40-60 LUMENS/WATT PER TABLE 150-C OR COMPLY WITH AN ALTERNATIVE MANUAL-ON MOTION CONTROL ALLOWED IN 150(K)3. RECESSED CEILING FIXTURE ARE IC(INSULATION COVER) APPROVED, EQUIPPED WITH EQUIPPED WITH ELECTRONIC BALLASTS AND MUST BE CERTIFIED AT(AIR-TIGHT)
- 150(K)4 OTHER LIGHTING SHALL BE HIGH EFFICACY LUMINARIES EXCEPT THOSE CONTROLLED BY DIMMER SWITCH OR MANUAL-ON MOTION SENSOR.
- 150(K)6 BUILDING ATTACHED OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINARIES EXCEPT THOSE CONTROLLED BY A COMBINATION MOTION/PHOTO SENSOR CONTROL COMPLYING WITH 119(D)



REVISIONS	BY

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PROPOSED PROJECT: NEW HOUSE
 120 FORD RD
 SACRAMENTO, CA 95838
 ELECTRICAL PLAN

DATE 11-24-2008
 SCALE 1/4"=1'-0"
 DRAWN DS
 JOB NO. 07015008
 SHEET NO.

E.1